

THE CITY OF NIAGARA FALLS REGIONAL MUNICIPALITY OF NIAGARA STACKED TOWNHOMES DEVELOPMENT

7301 LUNDY'S LANE, NIAGARA FALLS,
ONTARIO

ZONING STATISTICS

CURRENT ZONE - TC		
PROPOSED ZONE - R5C (Site Specific)		
DESCRIPTION	ALLOWED/REQUIRED	PROPOSED SITE SPECIFICATION
MIN. LOT AREA	100 SQ. MT. FOR EACH UNIT	90.25 SQ.MT. FOR EACH UNIT
MIN. LOT FRONTAGE	30 MT. (98.4 FT.)	69.90 MT. (229'-4")
MIN. FRONT YARD DEPTH	7.50 MT. (24.61 FT.)	2.51 MT. (8'-3") (FROM LUNDY'S LANE)
MINIMUM INTERIOR SIDE YARD WIDTH	ONE-HALF BUILDING HT. 5.50 MT. (18.01 FT.)	2.46 MT. (8'-½") (BUILDING-C & D)
MINIMUM EXTERIOR SIDE YARD WIDTH	7.50 MT. (24.61 FT.)	NA
MINIMUM REAR YARD DEPTH	ONE-HALF BUILDING HT. 5.50 MT. (18.01 FT.)	6.07 MT.(19'-11") (FROM ROYAL MANOR DR)
MAXIMUM LOT COVERAGE	30%	28.51% (INCL. BASEMENT PATIO AREA) 25.23% (EXCL. BASEMENT PATIO AREA)
MAXIMUM BUILDING HEIGHT	19.00 MT. (62.3 FT.)	13.06 MT. (42'-10") APPROX.
MINIMUM LANDSCAPED OPEN SPACE	40% OF THE LOT AREA	33.40% (EXCL. BASEMENT PATIO AREA) 36.68% (INCL. BASEMENT PATIO AREA)
NUMBER OF APARTMENT BUILDINGS ON ONE LOT	1	5
NUMBER OF PARKING SPACES PER UNIT RESIDENTIAL	1.4 SPACE/ UNIT (68 UNITS X 1.4 = 95.2 PARKING)	1 SPACE/ UNIT (68 UNITS X 1 = 68 PARKING)
NUMBER OF PARKING SPACES COMMERCIAL	1 SPACE/ 25 SQ.MT. OF GROSS FLOOR AREA (273.88/25 SQ.MT. = 11 PARKING)	5 PARKING (TBD)
MINIMUM AMENITY AREA (No. 79-200_AM-2022-003 Part 2)	20 SQ.MT./ UNIT	AMENITY SPACE: 22.9 SQ.M/UNIT
MINIMUM WIDTH OF MANOEUVRING AISLE	6.90 MT. (22.64 FT.)	6.02 MT. (19'-9")
MINIMUM GLAZING FOR RETAIL AREA	75%	85%

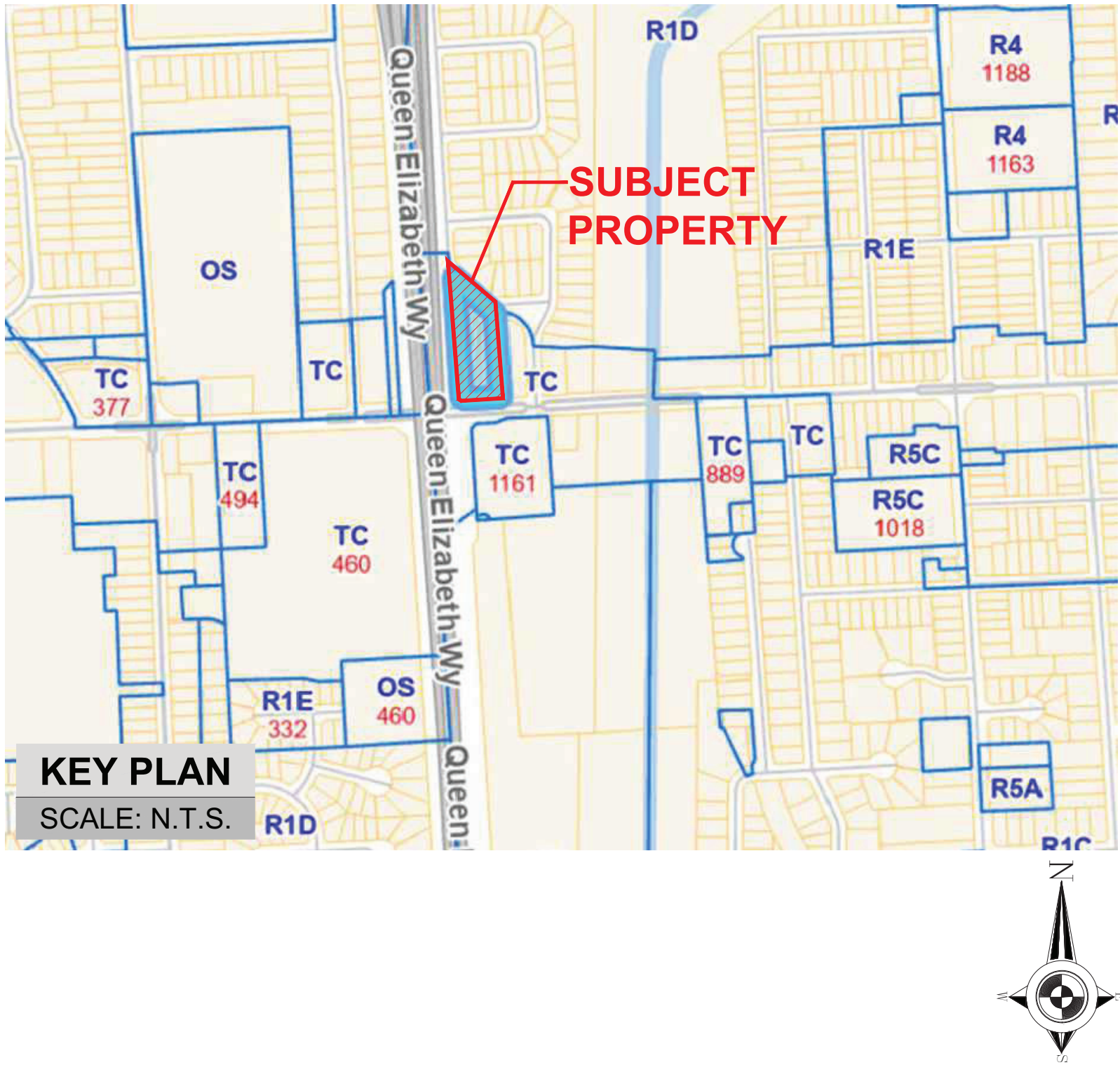
DESCRIPTION	HA. (ACRES)	SQ.FT.	SQ.MT.	%
SITE AREA	0.65 (1.61)	69941.60	6497.79	100.00
TOTAL BUILDING FOOTRPINT AREA		~19942.99	~1852.76	28.51
PROPOSED STREET/SURFACE PARKING AREA		~26638.19	~2474.77	38.09
PROPOSED LANDSCAPE & HARDSCAPE		~23360.42	~2170.25	33.40
PROPOSED LOT COVERAGE		28.51 (ALLOWED 30%)		
APPROXIMATE PROPOSED DENSITY (TOTAL PROPOSED GFA)		= 55055.44 SQ.FT. (5114.82 SQ.MT.)/ SITE AREA = 69941.60 SQ.FT. (6497.79 SQ.MT.) = FSI ~0.79		

NO. OF STOREY : 3 (KIND OF 2.5 STOREY; RECESSED TOP FLOOR WITH TERRACE AS AMENITY SPACE)						
BUILDING DESCRIPTION		NO. OF UNIT	TYP. UNIT AREA		FLOOR AREA	
			~SQ.FT.	~SQ.MT.	~SQ.FT.	~SQ.MT.
BUILDING A	1ST UNIT (COMMERCIAL)	4	735.53	68.33	2942.13	273.33
	2ND & 3RD UNIT (SECOND FLOOR & THIRD FLOOR)	8	913.40	84.86	7307.23	678.86
BUILDING B	1ST UNIT (BASEMENT)	4	680.21	63.19	2720.83	252.77
	2ND UNIT (FIRST FLOOR)	4	617.61	57.38	2470.44	229.51
	3RD UNIT (SECOND FLOOR & THIRD FLOOR)	4	1046.22	97.20	4184.89	388.79
BUILDING C	1ST UNIT (BASEMENT)	5	675.58	62.76	3377.89	313.82
	2ND UNIT (FIRST FLOOR)	5	617.93	57.41	3089.65	287.04
	3RD UNIT (SECOND FLOOR & THIRD FLOOR)	5	1062.28	98.69	5311.40	493.45
BUILDING D	1ST UNIT (BASEMENT)	5	675.58	62.76	3377.89	313.82
	2ND UNIT (FIRST FLOOR)	5	617.93	57.41	3089.65	287.04
	3RD UNIT (SECOND FLOOR & THIRD FLOOR)	5	1062.28	98.69	5311.40	493.45
BUILDING E	1ST UNIT (BASEMENT)	6	668.94	62.15	4013.63	372.88
	2ND UNIT (FIRST FLOOR)	6	609.01	56.58	3654.04	339.47
	3RD UNIT (SECOND FLOOR)	6	700.73	65.10	4204.36	390.60
TOTAL		72	~10683.23	~992.50	~55055.44	~5114.82

COMM. PARKING SUMMARY	
REQUIRED STALLS	
273.88 SQ.MT./25 SQ.MT.=11 STALLS	
PROPOSED STALLS	
5 STALLS	
REGULAR	- 5
BARRIER FREE	- 00
LOADING	- 00
TOTAL STALLS	- 5

RESI. PARKING SUMMARY	
REQUIRED STALLS	
68 UNITS X 1.4 = 95.2 STALLS	
PROPOSED STALLS	
68 UNITS X 1 = 68 STALLS	
REGULAR	- 64
BARRIER FREE	- 4
LOADING	- 00
TOTAL STALLS	- 68

TOTAL PARKING SUMMARY	
RESIDENTIAL	- 64
BARRIER FREE	- 4
LOADING	- 00
COMMERCIAL	- 05
TOTAL STALLS	- 73
SNOW STORAGE	
APPROX.	
4.53 % OF SITE AREA	



KEY PLAN
SCALE: N.T.S.

DRAWING LIST		
DWG. NO.	TITLE	PREPARED BY:
A-1.0	COVER SHEET	RPDS
S-1.0	SITE SURVEY PLAN	
SP-1.0	SITE PLAN	
A-2.0	ELEVATIONS - MIXED USE (BUILDING A)	RPDS (INFORMATION ONLY)
A-2.1	ELEVATIONS - MIXED USE (BUILDING A)	
A-2.2	ELEVATIONS - MIXED USE (BUILDING A)	
A-2.3	ELEVATIONS - STACKED T.H. (BUILDING B)	
A-2.4	ELEVATIONS - STACKED T.H. (BUILDING B)	
A-2.5	ELEVATIONS - STACKED T.H. (BUILDING B)	
A-2.6	ELEVATIONS - STACKED T.H. (BUILDING C)	
A-2.7	ELEVATIONS - STACKED T.H. (BUILDING C)	
A-2.8	ELEVATIONS - STACKED T.H. (BUILDING C)	
A-2.9	ELEVATIONS - STACKED T.H. (BUILDING D)	
A-2.10	ELEVATIONS - STACKED T.H. (BUILDING D)	
A-2.11	ELEVATIONS - STACKED T.H. (BUILDING D)	
A-2.12	ELEVATIONS - STACKED T.H. (BUILDING E)	
A-2.13	ELEVATIONS - STACKED T.H. (BUILDING E)	
A-2.14	ELEVATIONS - STACKED T.H. (BUILDING E)	
C-01	GRADING PLAN	J.H. COHOON ENGINEERING LIMITED
C-02	SERVICING PLAN	
C-03	TYPICAL DETAILS AND NOTES	
C-04	TYPICAL DETAILS AND NOTES	
C-05	SILTATION AND EROSION CONTROL PLAN	
C-06	PRE DEVELOPMENT STORM DRAINAGE AREAS	
C-07	POST DEVELOPMENT STORM DRAINAGE AREAS	
C-08	SANITARY DRAINAGE AREAS	
C-09	TITAN DETAILS	

PRIMARY CONSULTANT & PROJECT MANAGER

RPDS

INTEGRATED DESIGN FIRM

SUITE 203, 7895 TRANMERE DR., MISSISSAUGA, ON L5S 1W9
MAIL: PROJECT@RPDSTUDIO.CA, CALL: 647-556-2596
WEBSITE: WWW.RPDSTUDIO.CA

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TEL: (519) 753-2656 FAX: (519) 753-4263 www.cohooneng.com

Contractor & trader must check and verify all dimensions before execute the work and must report discrepancies and should not scale or measure the drawings.
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All the work must be in compliance with ONTARIO BUILDING CODE.
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This drawing is not to be used for construction until signed and stamped by the designer.

ONTARIO ASSOCIATION
OF
ARCHITECTS
William Chang
WILLIAM CHANG WONG
LICENCE
6183

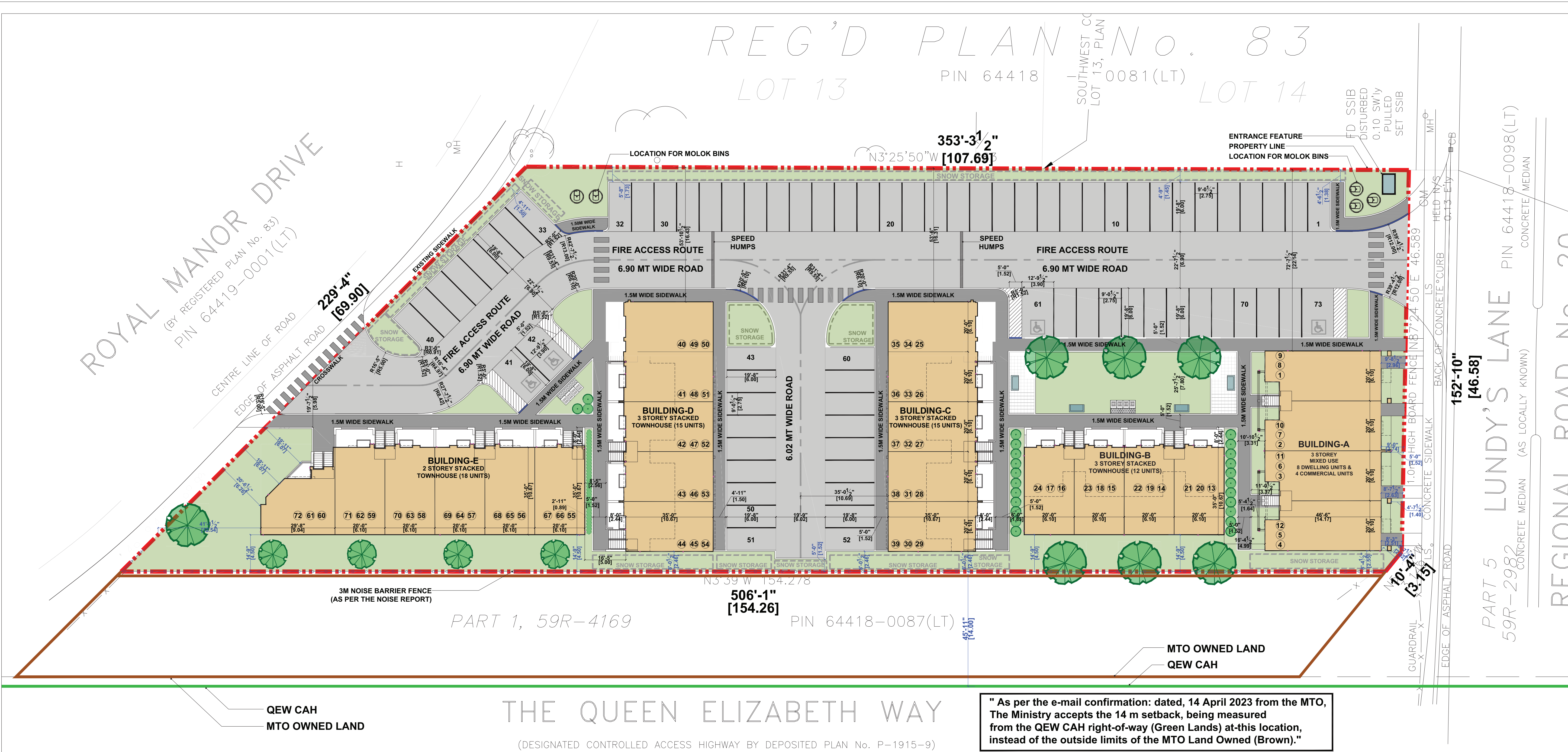
1.	23/11/2023	ISSUED FOR ZONING BY LAW AMENDMENT & OFFICIAL PLAN AMENDMENT	
No.	Date	Version	Dwn.

PROJECT:
**STACKED TOWNHOMES
DEVELOPMENT**
7301 LUNDY'S LANE,
NIAGARA FALLS, ON L2H 2W9
CANADA

DRAWING TITLE:
COVER SHEET

DRAWN BY:	DATE:
CHECKED BY:	SCALE:
PROJECT NO.:	DRAWING NO.:

A-1.0



BUILDING		UNITS
A		12 (8 RESIDENTIAL + 4 RETAIL)
B		12
C		15
D		15
E		18
TOTAL UNITS		72
TOTAL RESIDENTIAL UNITS		68

PARKING BREAKDOWN		
1	RESIDENTIAL	64
2	ACCESSIBLE	4
3	COMMERCIAL	5
TOTAL PROPOSED PARKING		73

LOT AREA 69941.60 SQ.FT. (6497.79 SQ.MT.) 100%
LOT COVERAGE 19942.99 SQ.FT. (1852.76 SQ.MT.) 28.51%

" As per the e-mail confirmation: dated, 14 April 2023 from the MTO, The Ministry accepts the 14 m setback, being measured from the QEW CAH right-of-way (Green Lands) at-this location, instead of the outside limits of the MTO Land Owned (Brown)."

LEGEND :	
	DOWNSPOUT
S.S.	SNOW STORAGE
	CONCRETE SIDEWALK
	PAINTED LINES
	PROPERTY LINE
	SOD
	ACCESSIBLE PARKING SPACE
	CURB CUT/ DEPRESSED SIDE WALK
	NOISE BARRIER FENCE

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No.	Date	Version	Dwn.

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**STACKED TOWNHOMES
DEVELOPMENT**
7301 LUNDY'S LANE,
NIAGARA FALLS, ON L2H 2W9
CANADA

DRAWING TITLE:
SITE PLAN

DRAWN BY:	DATE:
CHECKED BY:	SCALE: 1:250
PROJECT NO.:	DRAWING NO.:
SP-1.0	