

BUILDING	UNITS
A (19'-3"X50'-0")	20
B (21'-0"X40'-0")	9
C (21'-0"X40'-0")	18
D (21'-0"X40'-0")	18
E (21'-0"X40'-0")	18
F (21'-0"X40'-0")	18
TOTAL UNITS	101
REQUIRED PARKING	101X1.29=130
REGULAR PARKING	112
BARRIER FREE PARKING	4
TOTAL PROPOSED PARKING	116

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PRIMARY CONSULTANT & PROJECT MANAGER

**RPDS**  
INTEGRATED DESIGN FIRM  
SUITE 203, 7895 TRANMERE DR., MISSISSAUGA, ON L5S 1V9  
MAIL: PROJECT@RPDSTUDIO.CA, CALL: 647-556-2536  
WEBSITE: WWW.RPDSTUDIO.CA

ELECTRICAL CONSULTANT

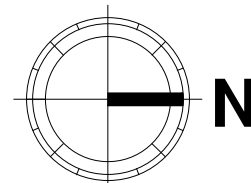
CONSULTING CIVIL ENGINEERS

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APPROVAL

\* NOT FOR CONSTRUCTION

\* ONLY FOR PRELIMINARY  
DISCUSSION

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1.	2024-03-15	ISSUED FOR MINOR VARIANCE	
No.	Date	Version	Dwn.

PROJECT:  
**STACKED TOWNHOMES DEVELOPMENT**  
5920  
DUNN STREET  
CITY OF NIAGARA FALLS

DRAWING TITLE:  
**SITE PLAN**

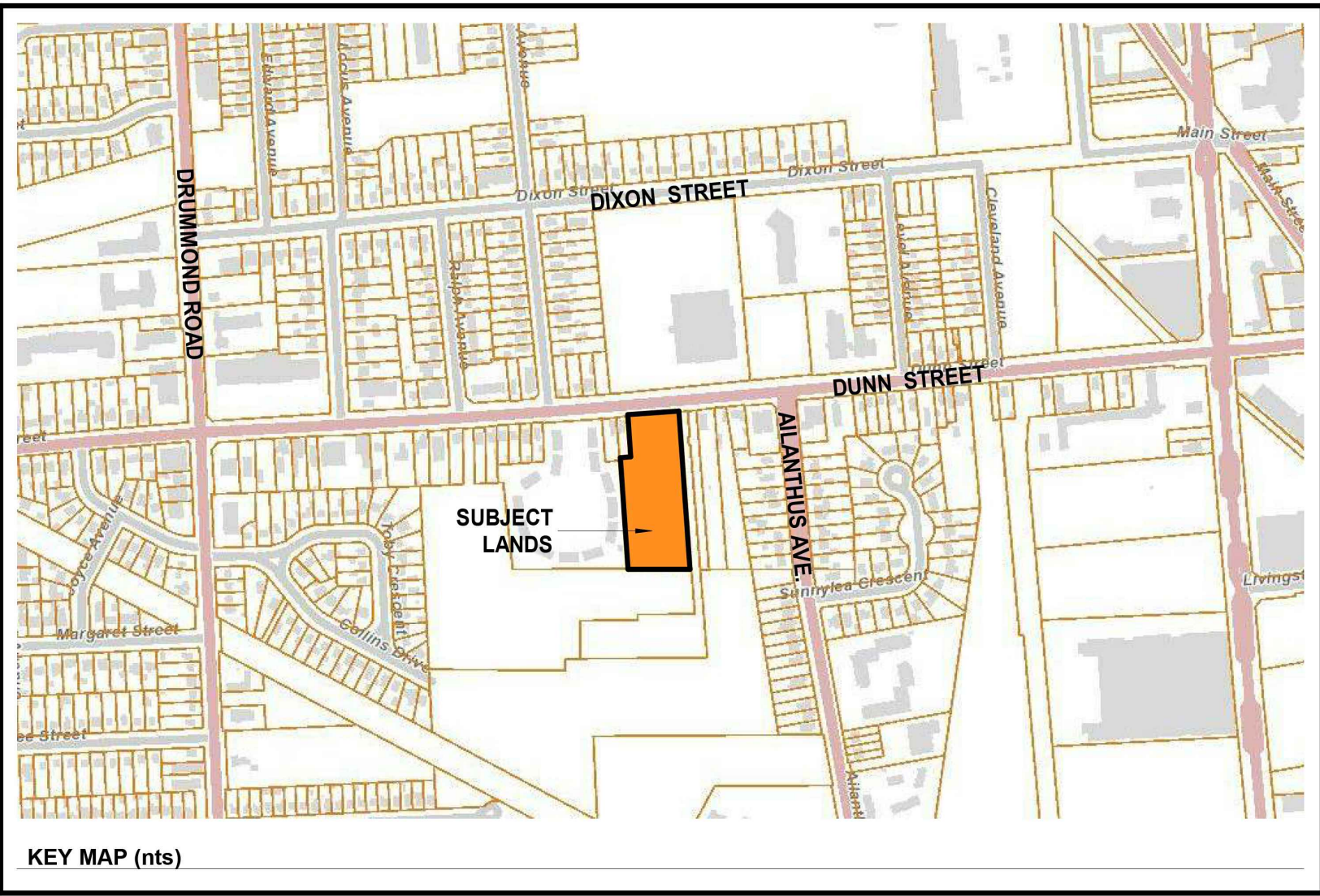
DRAWN BY: HL DATE:  
CHECKED BY: RP SCALE: 1" = 20'-0"  
PROJECT NO.: DRAWING NO.:

SP-1.0



# THE CITY OF NIAGARA FALLS REGIONAL MUNICIPALITY OF NIAGARA STACKED TOWNHOMES DEVELOPMENT

5906, 5916, 5928-5930 DUNN STREET,  
NIAGARA FALLS, ONTARIO



KEY MAP : N.T.S.

## ZONING & SITE STATISTICS

CURRENT ZONE: R5C - 1126 (By-law No. 2020-81)				
PROPOSED ZONE: R5C - 1126 (Site Specific)				
7.12.1 PERMITTED USES: (a) An apartment dwelling (b) A stacked townhouse dwelling				
	DESCRIPTION	REQUIRED	PROPOSED SITE SPECIFICATION	COMPLY
(a)	Minimum lot area	the whole of the Lands and 100 square meters for each dwelling unit. (By-lawNo.2020-81)	~101.42 square meters	YES
(b)	Minimum lot frontage	30 metres (98.4 ft.)	55.07 meters (180.75 ft.)	YES
(c)	Minimum front yard depth	7.5 meters (24.61 ft.) plus any applicable distance specified in section 4.27.1 (13 meters)	3.02 meters + 13 meter from the centerline of the road allowance of Dunn Street	NO
(d)	Minimum rear yard depth	one-half the height of the building(17 m/2 = 8.5 meters ) or 10 meters whichever is greater plus any applicable distance specified in section 4.27.1	26.20 meters	YES
(e)	Minimum interior side yard width	one-half the height of the building  BuildingHeight 17 m/2=8.5metres	Building A: 3.0 meters (east)	NO
			Buildings B, C&D: 4.89 meters (east)	NO
			Buildings E & F 24.3 meters (west)	YES
(f)	Minimum exterior side yard width	7.5 meters (24.61 ft.) plus any applicable distance specified in section 4.27.1	N/A	N/A
(g)	Maximum lot coverage	30%	~26.00% [Excl. bsmt. patio & Incl. stair]	YES
(h)	Maximum height of building or structure	22.3 meters (73.16 ft.) (A-2022-052)	17.00 meters (55.77 ft.)	YES
(i)	Number of apartment dwellings on one lot	one only	N/A - Stacked Townhouse Dwelling	N/A
(j)	Parking and access requirements	1.29 parking spaces per dwelling unit	1.15 parking spaces per dwelling unit (116 Parking / 101 dwelling units=1.15 Stalls)	NO
	Minimum number of parking spaces	1.29 spaces for each dwelling unit (101 dwelling units x1.29 parking space = 130.29 parking spaces )	116 (1.15 space) (Incl. 4 barrier free parking)	NO
(k)	Accessory buildings and accessory structures	in accordance with sections 4.13 and 4.14	None	Acknowledged
(l)	Minimum landscaped open space	40% of the lot area, including a 7.5 meter wide landscape strip along and adjacent to the front lot line, save and except for any driveway entrances	~40.46% Including 1.5 meter landscape strip at the front lot line [Incl. bsmt. patio & excl. stair]	YES
(m)	Minimum amenity space for an apartment dwelling unit	in accordance with section 4.42.1 Within the R4, R5A, R5B, R5C, R5D, R5E and R5F zones a minimum amenity area of 20 square metres per dwelling unit shall be provided.	41 square meters per dwelling unit	YES
	Minimum Parking aisle width	6.3 meters	6.2 meter	NO
	Encroachments	4.14 (c) unsupported canopies, eaves or gutters, for other than an accessory building, may project into any required yard a distance of not more than 0.45 meters	Buildings B, C&D: Deck/Balcony Projected 1.38 Meters into Interior Side Yard(east)	NO

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## LIST OF DRAWINGS

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**STACKED TOWNHOMES  
DEVELOPMENT**  
5920  
DUNN STREET  
CITY OF NIAGARA FALLS

DRAWING TITLE:  
**COVER SHEET**

DRAWN BY:	DATE:
CHECKED BY:	SCALE:
PROJECT NO.:	DRAWING NO.:
	A-1.0