

CITY OF NIAGARA FALLS - LOT GRADING PLAN

Legal Description
PART OF LOT 1, CONCESSION 6, TOWNSHIP OF CROWLAND (BEING PARTS 7 & 8, PLAN 59R-7401)

Street No. MONTROSE ROAD
 Builder or Owner KEVIN DILTS (905) 401-9404
 Subd'n Grade Control Plan No. N/A
 Building Plans JUNE 27, 2022.

NOTE: BOUNDARY INFORMATION HAS BEEN DERIVED FROM AVAILABLE RECORDS AND FIELD MEASUREMENTS. THIS IS NOT A PLAN OF SURVEY. THIS SKETCH DOES NOT VERIFY BUILDING CODE REQUIREMENTS.

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SECTION 23 - PUBLIC AND PRIVATE OPEN SPACE DISTRICT 02

THE FOLLOWING PROVISIONS SHALL APPLY IN ALL PUBLIC AND PRIVATE OPEN SPACE

THE FOLLOWING PROVISIONS SHALL APPLY IN ALL PUBLIC AND PRIVATE OPEN SPACE DISTRICTS 02:
NO PERSON SHALL HEREAFTER USE ANY BUILDING, STRUCTURE OR LAND NOR ERECT ANY BUILDING OR STRUCTURE EXCEPT IN COMPLIANCE WITH THE FOLLOWING PROVISIONS:

23.1 USES PERMITTED

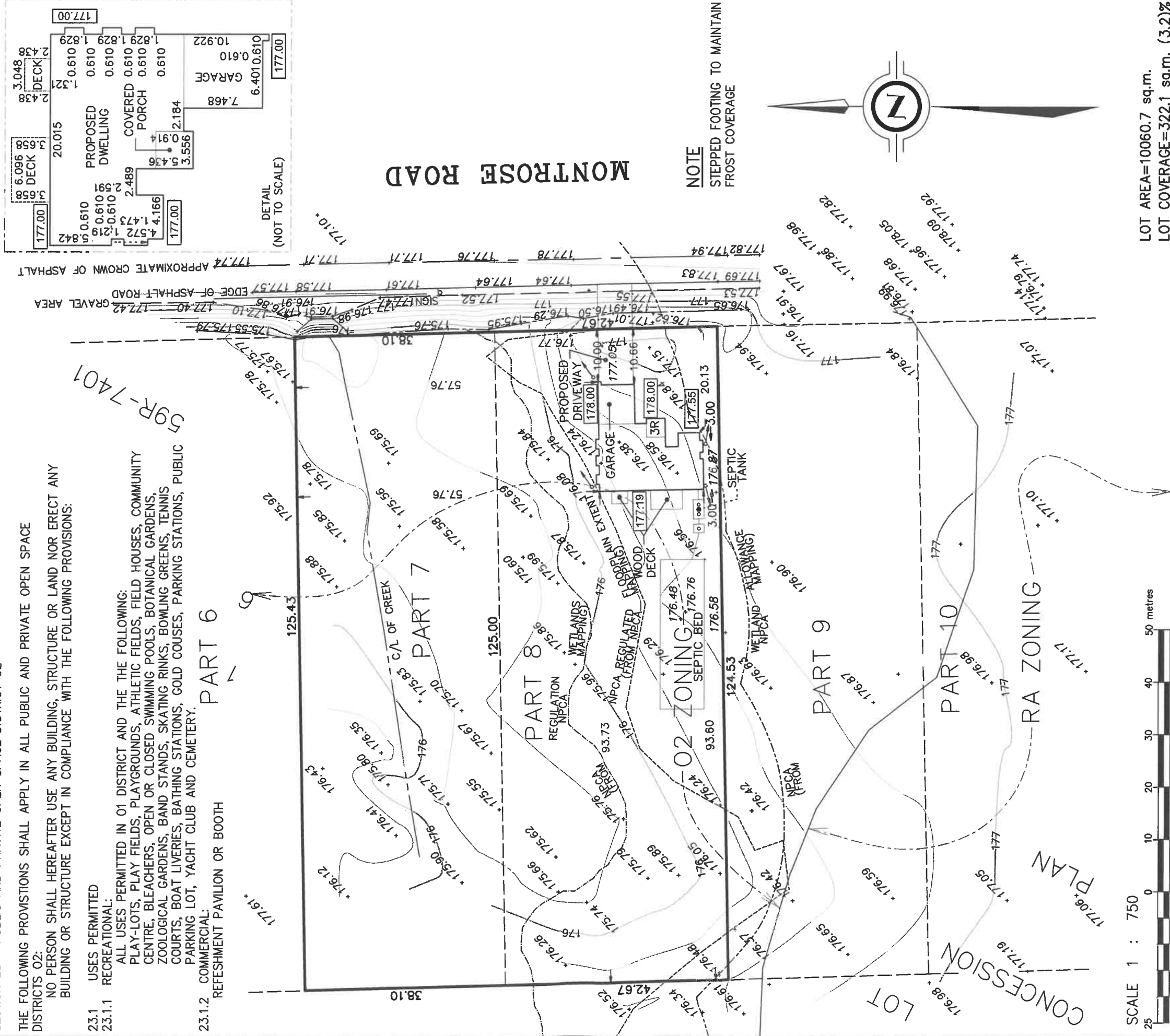
23.1.1 RECREATIONAL:

ALL USES PERMITTED IN 01 DISTRICT AND THE THE FOLLOWING:

PLAY-LOTS, PLAY FIELDS, PLAYGROUNDS, ATHLETIC FIELDS, FIELD HOUSES, COMMUNITY CENTRE, BLEACHERS, OPEN OR CLOSED SWIMMING POOLS, BOTANICAL GARDENS, ZOOLOGICAL GARDENS, BAND STANDS, SKATING RINKS, BOWLING GREENS, TENNIS COURTS, BOAT LIVERIES, BATHING STATIONS, GOLD COUSES, PARKING STATIONS, PUBLIC PARKING LOT, YACHT CLUB AND CEMETERY.

23.1.2 COMMERCIAL:

REFRESHMENT PAVILION OR BOOTH



CALL : 730
25

	10	20	30	40	50 metres
1	1.1	1.2	1.3	1.4	1.5
2	1.2	1.3	1.4	1.5	1.6
3	1.3	1.4	1.5	1.6	1.7
4	1.4	1.5	1.6	1.7	1.8
5	1.5	1.6	1.7	1.8	1.9
6	1.6	1.7	1.8	1.9	2.0
7	1.7	1.8	1.9	2.0	2.1
8	1.8	1.9	2.0	2.1	2.2
9	1.9	2.0	2.1	2.2	2.3
10	2.0	2.1	2.2	2.3	2.4
11	2.1	2.2	2.3	2.4	2.5
12	2.2	2.3	2.4	2.5	2.6
13	2.3	2.4	2.5	2.6	2.7
14	2.4	2.5	2.6	2.7	2.8
15	2.5	2.6	2.7	2.8	2.9
16	2.6	2.7	2.8	2.9	3.0
17	2.7	2.8	2.9	3.0	3.1
18	2.8	2.9	3.0	3.1	3.2
19	2.9	3.0	3.1	3.2	3.3
20	3.0	3.1	3.2	3.3	3.4
21	3.1	3.2	3.3	3.4	3.5
22	3.2	3.3	3.4	3.5	3.6
23	3.3	3.4	3.5	3.6	3.7
24	3.4	3.5	3.6	3.7	3.8
25	3.5	3.6	3.7	3.8	3.9
26	3.6	3.7	3.8	3.9	4.0
27	3.7	3.8	3.9	4.0	4.1
28	3.8	3.9	4.0	4.1	4.2
29	3.9	4.0	4.1	4.2	4.3
30	4.0	4.1	4.2	4.3	4.4
31	4.1	4.2	4.3	4.4	4.5
32	4.2	4.3	4.4	4.5	4.6
33	4.3	4.4	4.5	4.6	4.7
34	4.4	4.5	4.6	4.7	4.8
35	4.5	4.6	4.7	4.8	4.9
36	4.6	4.7	4.8	4.9	5.0
37	4.7	4.8	4.9	5.0	5.1
38	4.8	4.9	5.0	5.1	5.2
39	4.9	5.0	5.1	5.2	5.3
40	5.0	5.1	5.2	5.3	5.4
41	5.1	5.2	5.3	5.4	5.5
42	5.2	5.3	5.4	5.5	5.6
43	5.3	5.4	5.5	5.6	5.7
44	5.4	5.5	5.6	5.7	5.8
45	5.5	5.6	5.7	5.8	5.9
46	5.6	5.7	5.8	5.9	6.0
47	5.7	5.8	5.9	6.0	6.1
48	5.8	5.9	6.0	6.1	6.2
49	5.9	6.0	6.1	6.2	6.3
50	6.0	6.1	6.2	6.3	6.4
51	6.1	6.2	6.3	6.4	6.5
52	6.2	6.3	6.4	6.5	6.6
53	6.3	6.4	6.5	6.6	6.7
54	6.4	6.5	6.6	6.7	6.8
55	6.5	6.6	6.7	6.8	6.9
56	6.6	6.7	6.8	6.9	7.0
57	6.7	6.8	6.9	7.0	7.1
58	6.8	6.9	7.0	7.1	7.2
59	6.9	7.0	7.1	7.2	7.3
60	7.0	7.1	7.2	7.3	7.4
61	7.1	7.2	7.3	7.4	7.5
62	7.2	7.3	7.4	7.5	7.6
63	7.3	7.4	7.5	7.6	7.7
64	7.4	7.5	7.6	7.7	7.8
65	7.5	7.6	7.7	7.8	7.9
66	7.6	7.7	7.8	7.9	8.0
67	7.7	7.8	7.9	8.0	8.1
68	7.8				

LOT AREA=10060.7 sq.m.
LOT COVERAGE=322.1 sq.m. (3.2)%

Dwg	attached	DRAWN	BC/JN	CHECKED	DP	ZONE	OZ	REF.	21-16-124-00	SCALE	1:750
Proposed Grading Certification I Herby certify that the proposed grading shown is compatible with abutting lands.						As Constructed Grading Certification I hereby certify that I have taken the finished grades shown, and that the grading of this lot does not impact adversely on abutting lands.					
_____ O.L.S. Date _____						Date _____					
Accept by City _____ Date _____						O.L.S. _____					



J.D.BARNES
LIMITED
LAND INFORMATION SPECIALISTS

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